



TOWN OF OCCOQUAN

Town Hall, 314 Mill Street, Occoquan, VA 22125
www.occoquanva.gov | info@occoquanva.gov | (703) 491-1918

ARCHITECTURAL REVIEW BOARD MEETING

Tuesday, April 10, 2018
7:30 PM

TOWN HALL - 314 MILL STREET

1. Citizen Comments
2. Approval of March 13, 2018 Meeting Minutes
3. ARB2018-003: 201 Union Street, Exterior Elevation
4. Town Council Report
5. Planning Commission Report
6. Town Manager Report
7. Chair Report

Brenda Seefeldt
Chair, Architectural Review Board

**Architectural Review Board Meeting
Minutes for March 13, 2018**

The meeting was called to order at 7:36 p.m. by the Chairman, Brenda Seefeldt.

Present were Brenda Seefeldt, Carol Bailey, Matthew Dawson, Kelly Davis, Stewart Emenheiser, Jonathan Torres and Daniel Braswell. Laurie Holloway was excused absent.

There were no citizen comments.

Dan Braswell moved that the February 13, 2018 minutes be approved and Stewart Emenheiser seconded. The vote was all ayes.

- ARB2018-001 Exterior elevation application request presented for 204 Center Lane. The request included painting the shutters pure white and the replacement of sills that have dry rot. The new sills will be wood and painted the same color as the painted trim. The front bay window trim will be painted Intuitive Gray; the front door will be painted Purple Midnight. The metal railings will be painted Tricorn Black. The house numbers will be replaced with black numbers in the same style as the existing ones. Kelly moved to approve the application; Jonathan seconded and all voted aye.
- ARB2018-002 An Exterior Elevation application for 206 Commerce Street was presented. They were asking to add a black metal railing on an exterior stairwell for safety purposes. Brenda moved to approve the application and Jonathan seconded. All ayes.
- ARB2018-003 An Exterior Elevation application for 201 Union Street to put a new Kitchen Exhaust Fan on the roof of the building replacing the one that is there now. There was no one to present the project and the board did have questions so no decision will be made until we can speak with the representative. Members of the ARB are asked to determine if the fan will be visible from Union Street by walking around the property before making the next meeting.

Matthew presented a report from the Town Council.

- The financial audit was accepted
- Approved the Town Election Newsletter Mailing
- Approved a replacement for the Incident Base Reporting System

- Contracted an on call Financial Consulting Service
- Approved hiring an exterminator for the Mill House Museum

Town Manager Report:

The town will begin the replacement of the Refuse and Recycling Containers Phase I.

The Planning Commission has asked if the ARB would be willing to change the Tuesday that we meet each month. After discussion the board is okay if the Planning Commission wishes to change their meeting to the 4th Tuesday of the month and have their start time at 6:30.

Chair Report:

Brenda announced that Daniel Braswell is resigning from the ARB.

Discussion has started wondering if we can find an expert to help us with some training as we update the Exterior Elevation Design Guidelines.

Meeting adjourned at 8:14

Minutes submitted by Carol Bailey



Town of Occoquan Virginia
MAR 05 2018
RECEIVED

TOWN OF OCCOQUAN
ARCHITECTURAL REVIEW BOARD

APPLICATION FOR EXTERIOR ELEVATIONS
Commercial and Residential

This application must be filed at Town Hall by noon on the Wednesday prior to the Architectural Review Board meeting, which is regularly scheduled on the first Tuesday of each month at 7:30 p.m. in Town Hall. The Board requires that actual paint color samples and product brochures (and a photograph of the structure if there is to be a change to the structure's exterior) accompany this form. Applicants are encouraged to refer to the Guidelines (Residential and Commercial) which are available for review at Town Hall and online at www.occoquanva.gov. The applicant or a representative must be present at the meeting, during which the ARB will review the application.

Name: HYUN KIM (OWNER REP)

Mailing Address: 610 RIVER BEND RD. GREAT FALLS, VA 22066

Phone: (703) 300-5255 Date Submitted: _____

Project Address: 201 UNION STREET

Work is scheduled to begin (date): APRIL 1, 2018

Roof and Roofing N/A

Pitch: _____ Material: _____ Color: _____

Dormers N/A

Pitch: _____ Material: _____ Color: _____

Windows N/A

Dimensions: _____ Window Placement: _____

Grid Pattern/Color: _____ Grid Profile: _____

Shutter Color: _____ Trim Paint Color: _____

- NEW KITCHEN EXHAUST FAN ON ROOF. REPLACE EXISTING.

Material(s) N/A
Brick, stucco, siding, etc.: _____

Color(s): _____ Pattern: _____

Mortar Color: _____ Joint Pattern: _____

Doorway(s) N/A
Design/Pattern: _____

Column Size: _____ Porch Post(s) Size: _____

Spindle Design: _____ Color(s): _____

Light Fixtures (color/style/placement): _____

Fences, walls, decks N/A
Material(s) (wood, brick, stucco, etc.): _____

Color(s): _____

Pattern: _____

Decorative Trim and/or Hardware: _____

Mortar Color: _____ Joint Pattern: _____

For new construction or alteration of structure, attach seven copies of scale drawings of the proposal. For new construction, attach a schematics showing building in relation to neighboring buildings.

Landscape Design Plan Attached? Yes No

[Signature]
Applicant's Signature

Chair, Architectural Review Board

Date Submitted: 3/5/18

Date Approved: _____

TOWN USE ONLY	
Check No.: <u>1086</u>	Cash Receipt No.: _____
Application Fee: \$10	
<u>3/6/2018: Zoning Review Pending K</u> <u>3/15 - Zoning Approved</u> <u>TZP 2018-009</u>	



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Town of Occoquan
 Virginia
MAR 13 2018
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Zoning Review Application

FOR TOWN USE ONLY		
Zoning Permit No.: <u>TZP 2018</u> <u>009</u>	Issue Date: <u>3.16.18</u>	Zoning Official: <u>Ham</u>
SECTION 1: APPLICANT AND OWNER INFORMATION		
APPLICANT INFORMATION Hyun Kim Applicant Name Business Name (if applicable) 618 River Bend Road, Great Falls, VA 22066 Address (No., City, Address, Zip) hyun_333@hotmail.com Email Phone No.: 703-300-5255	OWNER INFORMATION Chris Lambrou Owner Name 5634 Mt. Vernon Memorial Highway, Alexandria, VA 22309 Address (No., City, Address, Zip) Email Phone No.: 703-780-4707	
SECTION 2: ZONING ACTIVITY		
<input type="checkbox"/> New Construction	<input checked="" type="checkbox"/> Alteration/Repair	<input type="checkbox"/> Addition
<input type="checkbox"/> New Tenant/Use	<input type="checkbox"/> Change of Use	<input type="checkbox"/> Other _____
Proposed Use and/or Improvements: New interior finishes, new ADA toilet rooms, new commercial hood with new roof exhaust fan and new HVAC.		Size (Sq. Ft./Length) of Construction: approx. 1,280 sf
SECTION 3: SITE INFORMATION		
Site Address: 201 Union Street		Parcel No.: 28
Subdivision Name: <u>8393-6A-7643</u>		Lot Size:
Zoning District: <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input checked="" type="checkbox"/> B-1 <input type="checkbox"/> PPU	PWC GPIN:	Use:
Special Use Permit Required? <input type="checkbox"/> Yes <input type="checkbox"/> No		HOA Approval? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Historic District: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>(NOTE: ARB Approval for exterior modifications and signage is required for activities located within the Historic District.)</i>	RPA on Site: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	IDA: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Site Plan Required? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Supporting Documentation (Attached): <input checked="" type="checkbox"/> Plan/Plat <input type="checkbox"/> Narrative <input type="checkbox"/> Specification Sheet <input type="checkbox"/> Other: _____ Please ensure all exhibits are drawn to scale.		
SECTION 4: NOTICES TO APPLICANT/PROPERTY OWNER		
Prior to construction and/or installation of improvements, it is your responsibility to determine the existence of any restrictive covenants and/or deed restrictions governing property improvements. In some cases, such covenants may be more restrictive than the Occoquan Town Code, and the issuance of permits will not relieve you of complying with any		

**201
UNION ST**

RESTAURANT

241 LINDEN STREET
COCCOON, VA 22155
TOWN OF COCCOON



**DESIGN
AMERICA**
CONSULTING ENGINEERS
1000 BROADWAY SUITE 1000
NEW YORK, NY 10018
TEL: 212-260-1234
WWW.DESIGNAMERICA.COM

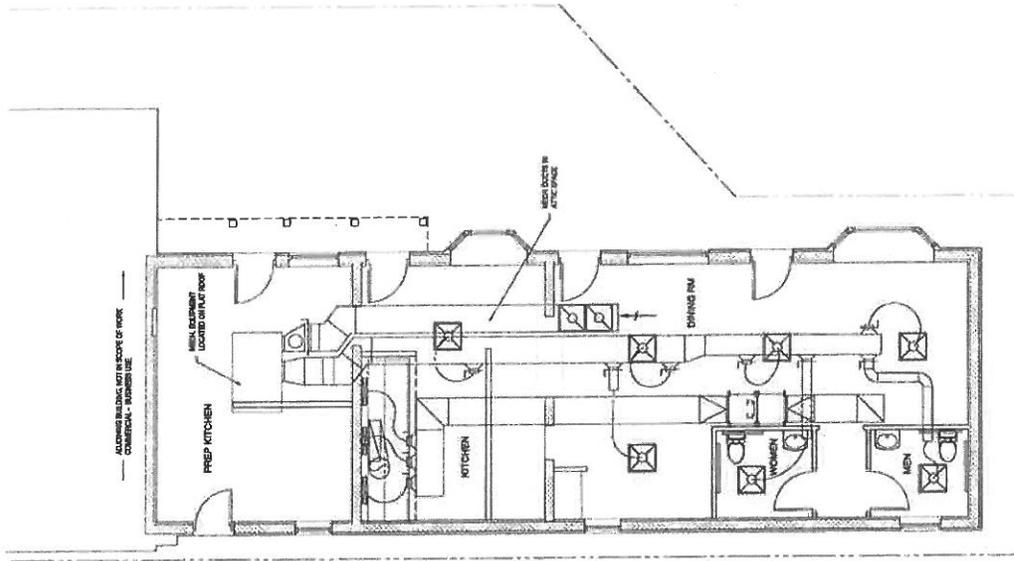
NO.	REVISIONS	DATE

PROPOSED
MECHANICAL PLAN

SCALE

REFERENCE NO.
207-AJ-001

SHEET NO.
A201



PROPOSED MECHANICAL PLAN





EXISTING FRONT ELEVATION



EXISTING FRONT ELEVATION



EXISTING ALLEY ELEVATION



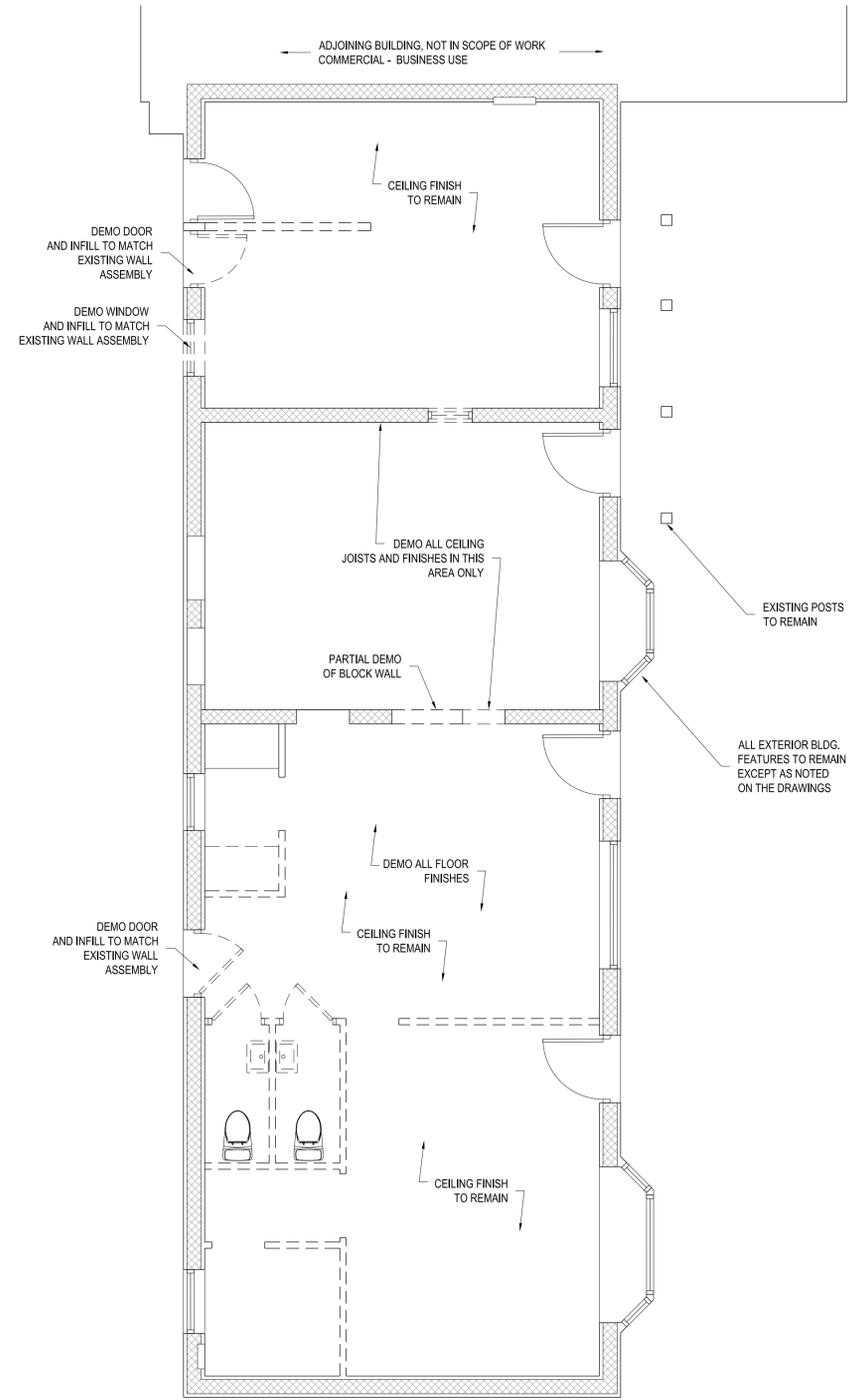
EXISTING ALLEY ELEVATION

DEMO PLAN LEGEND

- - - - - EXISTING WALL TO BE DEMOLISHED
 [Hatched Box] EXISTING WALL TO REMAIN

DEMOLITION GENERAL NOTES

- G.C. IS RESPONSIBLE FOR VERIFYING DRAWINGS AND SITE CONDITIONS PRIOR TO START OF CONSTRUCTION. NOTIFY DESIGNER OF ANY DISCREPANCIES.
- THE G.C. SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK DESCRIBED ON THIS DRAWING AND ANY OTHER DEMOLITION WORK OF FOUND CONDITIONS THAT MAY BE REQUIRED TO ACHIEVE DESIGN INTENT.
- G.C. TO ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREA OF DEMOLITION. DISCONNECT AND STUB OFF ALL UTILITIES AFFECTED BY DEMOLITION WORK. NOTIFY THE AFFECTED UTILITY COMPANY IN ADVANCE AND OBTAIN APPROVAL PRIOR TO WORK.
- LEGALLY REMOVE ALL DEMOLISHED MATERIALS OFF SITE IMMEDIATELY.
- DEMOLISH IN AN ORDERLY AND CAREFUL MANNER AS REQUIRED TO ACCOMMODATE NEW WORK, INCLUDING THAT REQUIRED FOR CONNECTION TO THE EXISTING BUILDING. PROTECT EXISTING STRUCTURAL MEMBERS.
- PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- THE G.C. SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES. THE G.C. SHALL PERFORM ALL OPERATIONS REQUIRED FOR COMPLETE DEMOLITION REMOVALS AND RELATED WORK AS INDICATED HEREIN, AND AS REASONABLY IMPLIED TO COMPLETE THE WORK IN ALL RESPECTS.
- PATCH AND REPAIR ALL FINISHES THAT ARE TO REMAIN.



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 daeng2000@aol.com
 www.daeng2000.com

NO.	REVISIONS	DATE

DRAWING TITLE

AS-BUILT PHOTOS & DEMOLITION PLAN

SCALE

REFERENCE NO. 2017-UNION

SHEET NO.

A100

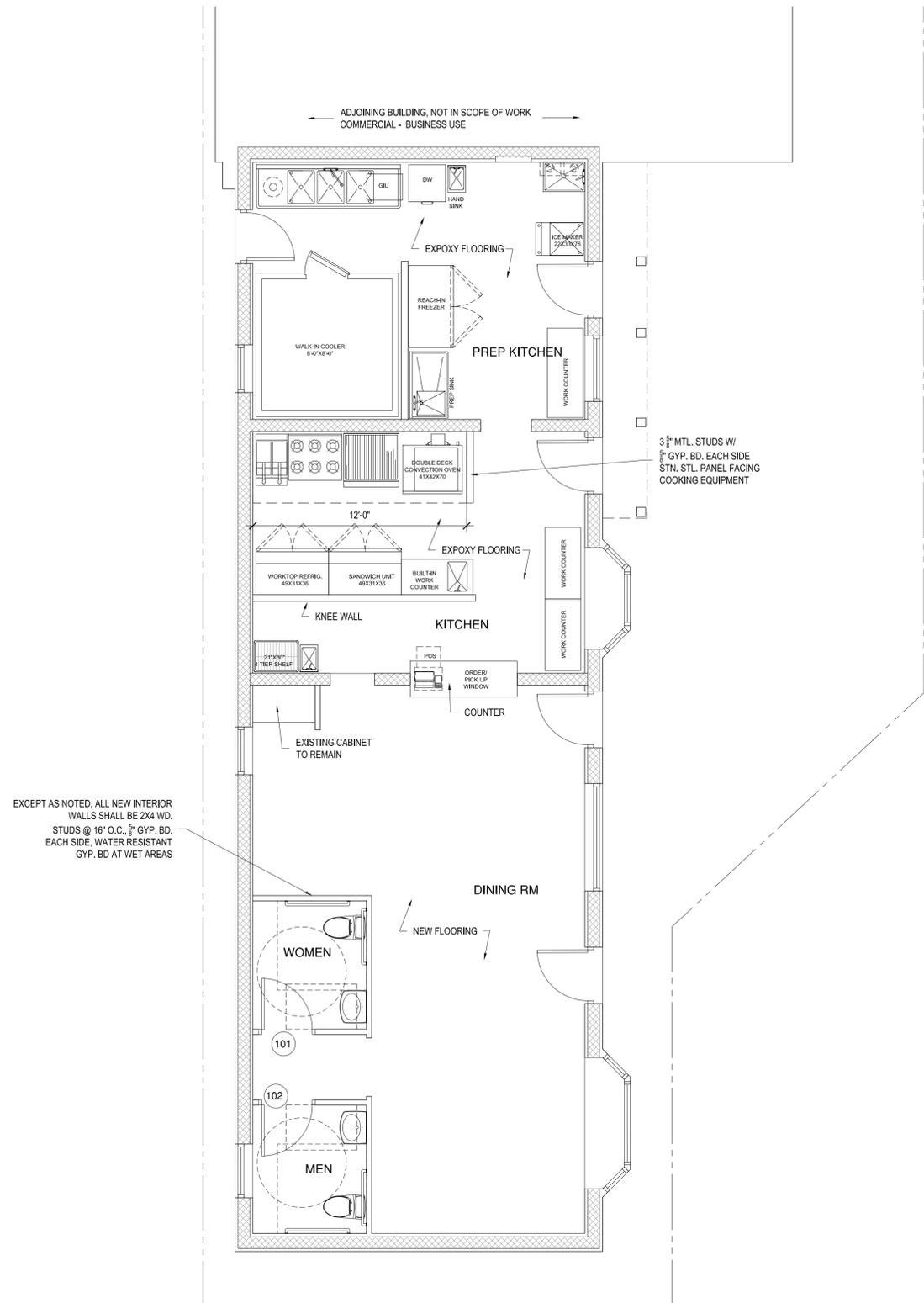
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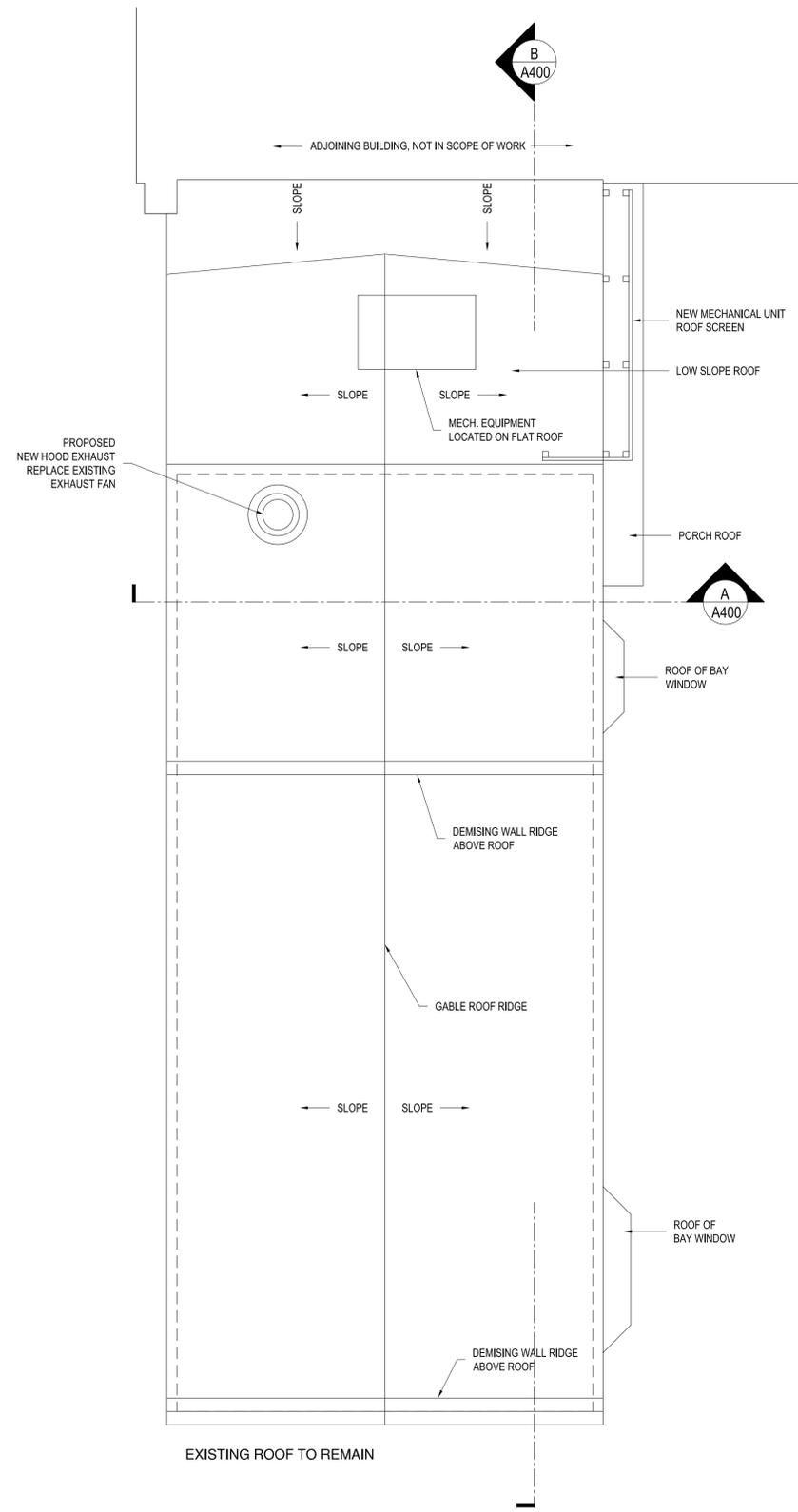


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EXCEPT AS NOTED, ALL NEW INTERIOR WALLS SHALL BE 2X4 WD. STUDS @ 16" O.C. 5/8" GYP. BD. EACH SIDE, WATER RESISTANT GYP. BD. AT WET AREAS

A PROPOSED FIRST FLOOR PLAN
 1/4"=1'-0"
 0' 3' 6' 12'



B ROOF PLAN
 1/4"=1'-0"

NO.	REVISIONS	DATE

DRAWING TITLE

FLOOR PLAN AND ROOF PLAN

SCALE

REFERENCE NO. 2017-UNION

SHEET NO.

A200

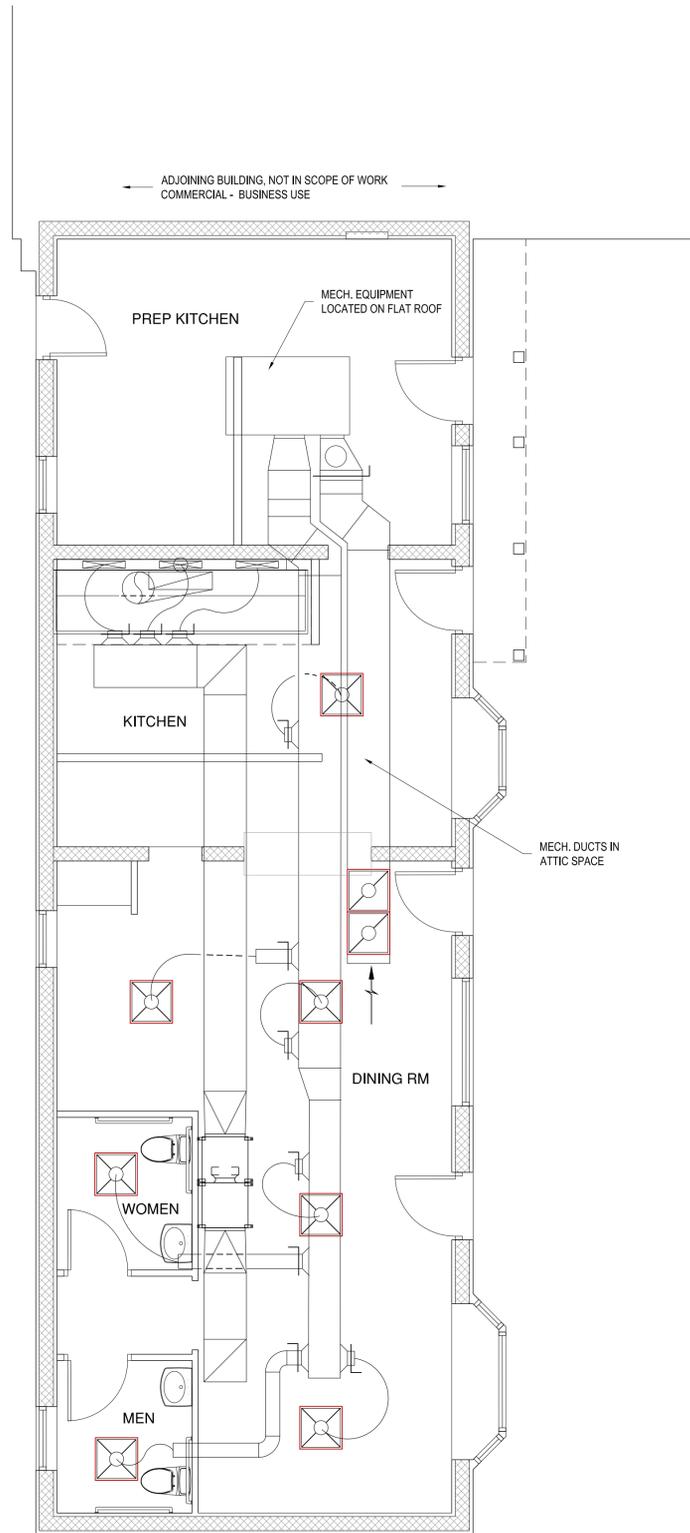
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 TOWN OF OCCOQUAN

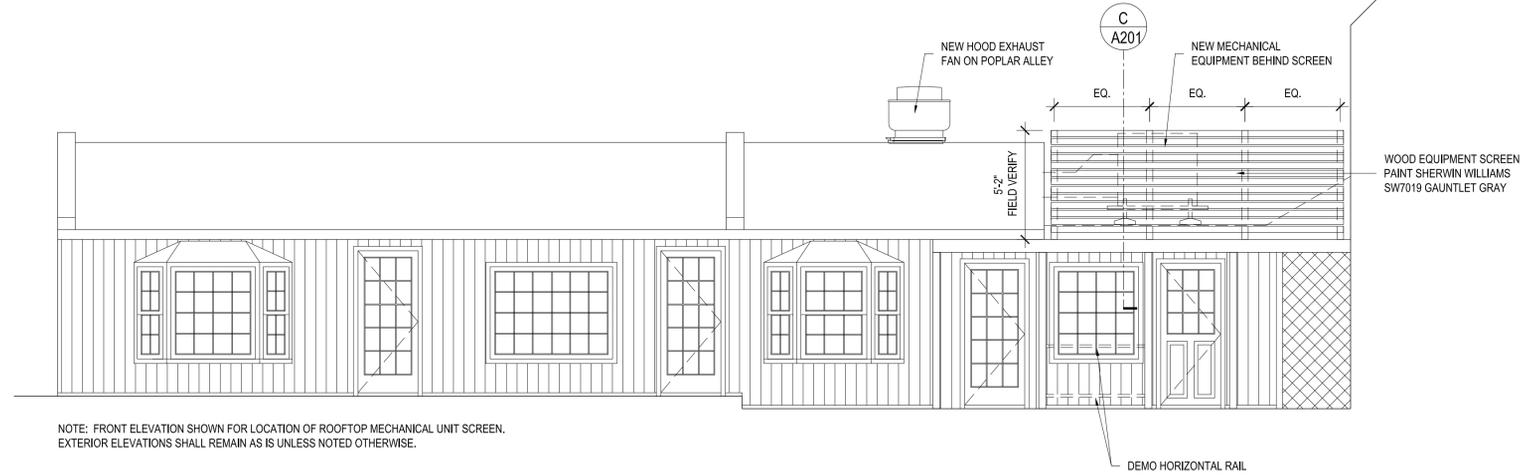
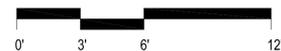


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(A) PROPOSED MECHANICAL PLAN

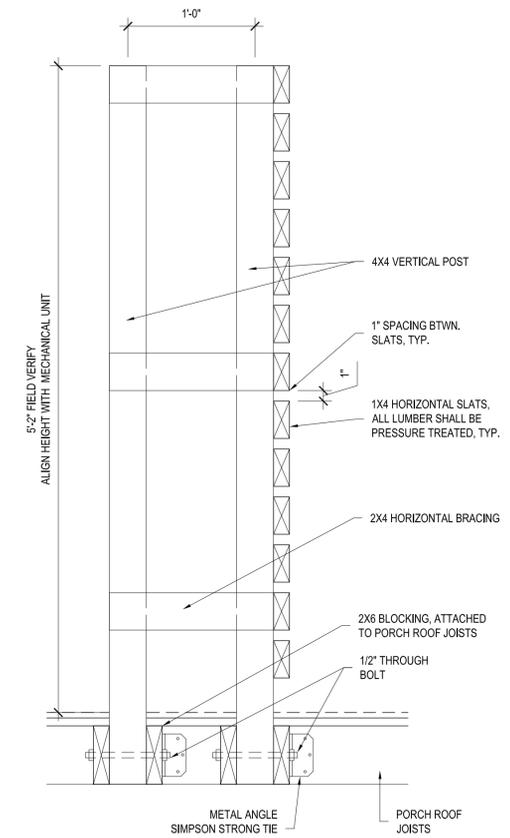
1/4"=1'-0"



NOTE: FRONT ELEVATION SHOWN FOR LOCATION OF ROOFTOP MECHANICAL UNIT SCREEN.
 EXTERIOR ELEVATIONS SHALL REMAIN AS IS UNLESS NOTED OTHERWISE.

(B) FRONT ELEVATION

1/4"=1'-0"



(C) MECH. UNIT SCREEN DETAIL

1 1/2"=1'-0"

NO.	REVISIONS	DATE

DRAWING TITLE

PROPOSED
 MECHANICAL PLAN

SCALE

REFERENCE NO. 2017-UNION

SHEET NO.

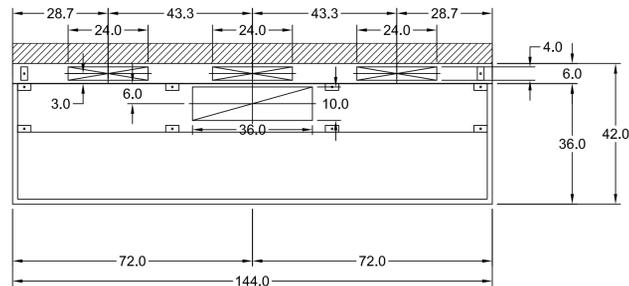
A201

HOOD INFORMATION																	
HOOD NO.	MARK	MODEL	HOOD DIMENSIONS (IN.)			HOOD CONSTR.	COOKING LOAD / DUTY RATING	TOTAL CFM	EXHAUST COLLAR(S)				SUPPLY		TOTAL WEIGHT LBS.	SECTION LOCATION	
			LENGTH	WIDTH	HEIGHT				WIDTH	LENGTH	DIA.	CFM	S.P.	MUA CFM			AC CFM
1	HOOD-1	XXEP-144-S	144	TOP 36 BOT 3	FRT 12 BACK 36	430 SS WHERE EXPOSED	HEAVY	4200	10	36		4200	0.995	2520		299.9	SINGLE

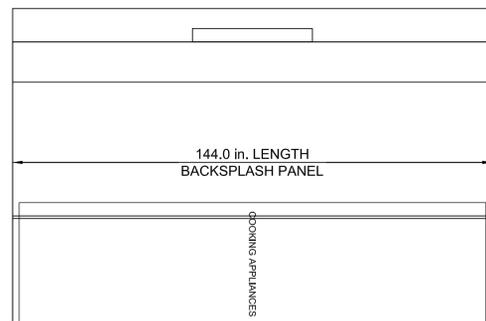
HOOD INFORMATION																	
HOOD NO.	MARK	LIGHTING DETAILS				GREASE FILTRATION DETAILS				UTILITY CABINET(S)							
		FIXTURE TYPE	BULB / LAMP INFO	QTY	FOOT CANDLES	TYPE / MODEL	MATERIAL	QTY	SIZE (IN.)	LOCATION	FIRE SYSTEM TYPE	SIZE	MODEL	CONTROLS INTERFACE			
1	HOOD-1					X-TRACTOR	STAINLESS STEEL	4	16	16							

SUPPLY PLENUM INFORMATION																			
HOOD NO.	MARK	POS.	TYPE	SIZE (IN.)			INSULATED	DAMPER(S)	LED LIGHT(S) SUPPLIED	QTY	TOTAL CFM	COLLARS							
				L	W	H						TYPE	MOUNTING	QTY	W	L	DIA.	CFM	S.P.
1	HOOD-1	BACK	BSP	144	6	52.75	NO	NO	NO		2520	MUA	FACTORY	3	4	24	840	0.28	1260

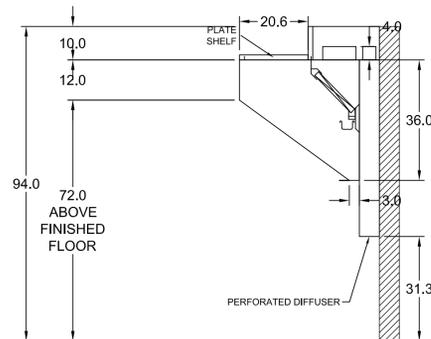
HOOD OPTIONS
 UL 710 LISTED W/ OUT EXHAUST FIRE DAMPER - UL #R25625
 10 IN HIGH CEILING ENCLOSURES - FRONT LEFT RIGHT - FIELD INSTALLED
 FACTORY MOUNTED EXHAUST COLLAR(S)
 BACKSPLASH 32.00 IN HIGH 144.00 IN LONG
 PERFORMANCE ENHANCING LIP (PEL) TECHNOLOGY
 STANDING SEAM CONSTRUCTION FOR SUPERIOR STRENGTH



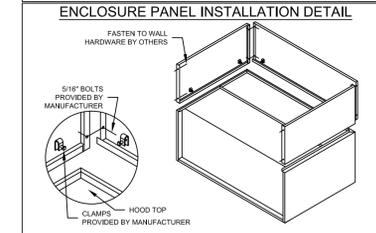
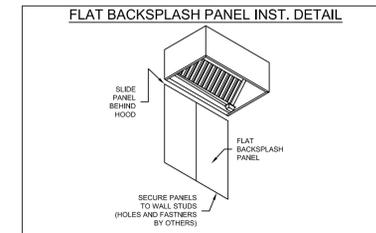
MARK: Hood-1 - SECTION 1
PLAN VIEW



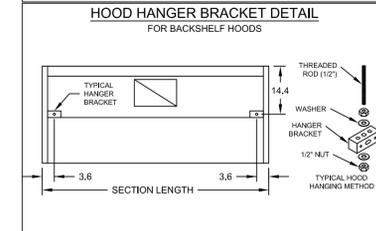
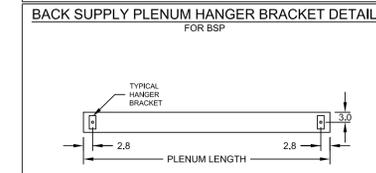
MARK: Hood-1 - SECTION 1
ELEVATION VIEW



MARK: Hood-1
SECTION VIEW



HOOD HANGING HEIGHT FOR FIRE SYSTEMS
 VERIFICATION OF HOOD HANGING HEIGHT ABOVE FINISHED FLOOR (A.F.F.) IS REQUIRED FOR CORRECT PLACEMENT OF FIRE SYSTEM NOZZLES.
 RECOMMENDED HANGING HEIGHT = 72" FROM FINISHED FLOOR TO LOWER FRONT EDGE OF HOOD.
 OTHER HANGING HEIGHT = _____" FROM FINISHED FLOOR TO LOWER EDGE OF HOOD.



UL NSF
DESIGNATED LISTED

WOODBRIDGE RESTAURANT (WOODBRIDGE VA) - R2

PROJECT: 1/11/2018
MARK: HOOD-1

ACCUREX - DC, MD, NORTHERN VA
JAMES ZHANG
JAMES.ZHANG@ACCUREX.COM
(703)206-8946

ACCUREX

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NO.	REVISIONS	DATE

DRAWING TITLE
MECHANICAL HOOD DETAILS

SCALE: AS SHOWN

REFERENCE NO. 2017-UNION

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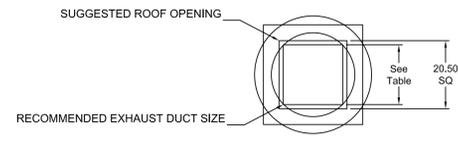
Belt Drive Upblast Centrifugal Roof Exhaust Fan

MARK INFORMATION		FAN INFORMATION						MOTOR INFORMATION					
QTY	MARK	MODEL	VOLUME (CFM)	TOTAL EXTERNAL SP (IN WG)	FAN RPM	OPERATING POWER (HP)	WEIGHT (LB.)	SIZE (HP)	V/C/P	ENCLOSURE	MOTOR RPM	WINDINGS	NEC FLA*
1	HEF-1	XRUB-200HP-30	4,200	1.745	1,453	2.45	241	3	208/60/3	OP	1725	1	10.6

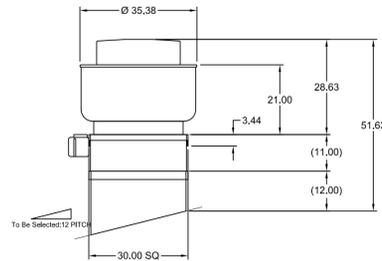
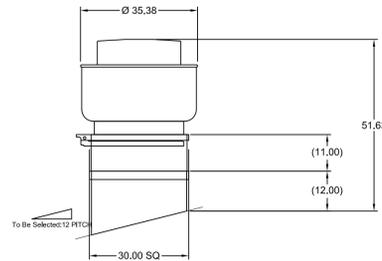
*NEC FLA - Based on tables 150 or 148 of National Electrical Code 2002. Actual motor FLA may vary, for sizing thermal overload, consult factory.

HEF-1 : SELECTED OPTIONS AND ACCESSORIES

UL/cUL 762 Listed - "Power Ventilators for Rest. Exh. Appliances"
 Switch, NEMA-1, Toggle, Shipped with Unit
 Roof Curb-Galv., GPPF-30-G12, Under Sized 1.25 in. Total, Pitch To Be Selected
 Curb Extension-Galv., VCE-30-G11
 Hinged Base (Attached)
 High Temp Curb Seal Rated for Continuous Duty at 2000 F (Attached)
 Grease Trap (PN 475538)
 Heat Baffle (Attached)
 Bearings with Grease Fittings, L10 life of 100,000 hrs (L50 avg. life 500,000 hrs)

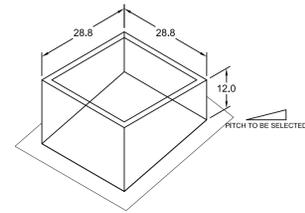
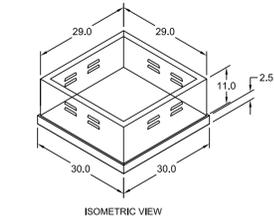


DUCT TYPE	SIZE
STANDARD	18 SQ
FIRE-WRAPPED	10 SQ



DUCT DIMENSIONS ARE LARGEST POSSIBLE DUCT TO FIT THROUGH CURB.
 CONSULT SYSTEM DESIGN ENGINEER FOR RECOMMENDED DUCT SIZE.

OVERALL HEIGHT MAY BE GREATER DEPENDING ON MOTOR.



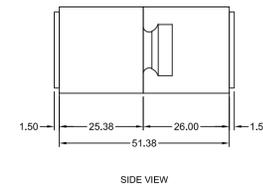
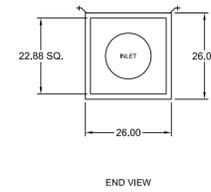
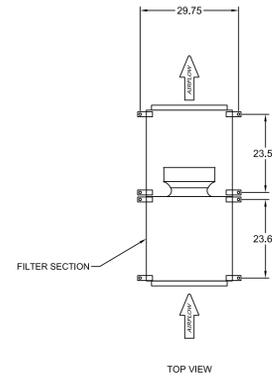
Direct Drive Centrifugal Inline Fan

MARK INFORMATION		FAN INFORMATION						MOTOR INFORMATION					
QTY	MARK	MODEL	VOLUME (CFM)	TOTAL EXTERNAL SP (IN WG)	FAN RPM	OPERATING POWER (HP)	WEIGHT (LB.)	SIZE (HP)	V/C/P	ENCLOSURE	MOTOR RPM	WINDINGS	NEC FLA*
1	MUA-1	XID-160-VG	3,780	1.299	1,657	1.69	257	2	208/60/1	TF	1725	1	13.2

*NEC FLA - Based on tables 150 or 148 of National Electrical Code 2002. Actual motor FLA may vary, for sizing thermal overload, consult factory.

MUA-1 : SELECTED OPTIONS AND ACCESSORIES

UL/cUL 705 Listed - "Power Ventilators"
 Switch, NEMA-1, Toggle, Shipped with Unit
 Damper Shipped Loose, Inline, WD-330-PB-23X23, Gravity Operated, Not Coated
 Sloped Filter Box, 1 in. Aluminum Filters
 Isolators & Brackets, Spring Hanging (2 Kit(s); Qty 8; PN: 850345) (Shipped Loose)



PROJECT/ 1/17/2018
 WOODBRIDGE RESTAURANT (WOODBRIDGE VA) - R2
 MARK HEF-1
 ACCUREX - DC, MD, NORTHERN VA
 JAMES ZHANG
 JAMES.ZHANG@ACCUREX.COM
 (703)206-8946



NO.	REVISIONS	DATE

DRAWING TITLE
MECHANICAL HOOD DETAILS

SCALE: AS SHOWN

REFERENCE NO. 2017-UNION

SHEET NO.

M6



TOWN OF OCCOQUAN

Circa 1734 • Chartered 1804 • Incorporated 1874
314 Mill Street • PO Box 195 • Occoquan, Virginia 22125
(703) 491-1918 • Fax (571) 398-5016 • info@occoquanva.gov
www.occoquanva.gov

TOWN COUNCIL
Elizabeth A. C. Quist, Mayor
Patrick A. Sivigny, Vice Mayor
J. Matthew Dawson
Jim Drakes
Cindy Fithian
Joe McGuire

TOWN MANAGER
Kirstyn Barr Jovanovich

Town Manager's Report Architectural Review Board March 2018

The following activities were performed by the Town regarding Zoning Code Enforcement:

- Temporary Sign Permit Request Denied based on size, 305 Mill Street
- Voided previous ARB COA for 304 Mill Street (Tulia Qi) issued on 11/10/2015, uninstalled signage
- Voided previous ARB COA for 304 Mill Street (Kaluca Art) issued on 9/8/2015; out of business, uninstalled signage

Sign Approvals:

- 304 Mill Street, Tulia Qi - Permanent Hanging Sign

New Businesses:

- Reinhardt Harper Davis, PLC, 206 Commerce Street

Other Activities Impacting the Historic District:

- Gaslights painting completed; spring banners installed
- Footbridge lighting scheduled for installation in April
- Phase I of Refuse and Recycling Containers completed; Phase II funding pending FY 2019 Budget Adoption
- Town Spring Cleanup Day: April 21, 9 am - 12 pm, Volunteers Needed
- Arbor Day Celebration: April 28; street tree planting planned for Commerce Street
- Summer concert series launches Friday, May 4, 2018

Submitted April 6, 2018